



P.O. Box 1609, Mammoth Lakes, California 93546  
619-934-8983

MASTER SIGN PLAN

Sherwin Professional Plaza

In accordance with the Zoning Ordinance of the Town of Mammoth Lakes, Chapter 17.40 "Signs", Section 17.40.020 "General Provisions", Sub-section "J"; The Sign Plan for Sherwin Professional Plaza, shall be as follows:

1 - TERM

The Sign Plan for Sherwin Professional Plaza shall be valid for a period of ten years from the date of adoption, September 11, 1991, and shall be required to be renewed in its entirety by September 11, 2001 in accordance with the legal sign requirements in affect at that time. Any deviations from this sign plan shall be approved by the Planning Commission and such deviations shall be valid only for the period of the originally approved master sign plan. All allocated signs per the approved sign plan are "existing signs" and only the copy may be added or changed with Planning Director approval, Therefore, any changes or additions shall have a valid amortization corresponding to the remaining period of the approved sign plan. At the end of the original 10 year period, all signs at Sherwin Professional Plaza shall be required to reapply and come into conformance with whatever sign requirements are in affect at that time, regardless of when any particular wording or copy of an approved sign was installed. Chapter 17.40 of the Town of Mammoth Lakes Zoning Ordinance shall become an attachment to this approved Master Sign Plan.

2 - AMORTIZATION OF UNAPPROVED SIGNS

All existing signs on this parcel not approved as part of this sign plan shall be removed by whatever date the Town Council requires other similar illegal non conforming signs to conform, or October 1, 1992, whichever occurs last. There shall be no signs displayed on this property other than in accordance with the approved master sign plan.

Signs shown on the attachments shall be removed, or conform to the Master Sign Plan, no later than whatever date the Town Council requires other similar illegal non conforming signs to conform, or October 1, 1992, whichever occurs first.

#### 4 - Approved Signs

In Accordance with the attached layouts, there shall be approved signs as follows:

South face and west face second floor signs; S1, S2, S3, S6, S7. These signs are approved at 25 square feet each, 1'7" X 16'. The signs shall be the same geometric shape, design and color as shown on exhibit 1.

South face first floor signs; S4 and S5. S4 presently identifies the restaurant "Chili Peppers", S5 presently identifies the laundromat. These signs are approved at 25 square feet each, 1'7" X 16', and shall be the same geometric shape as shown on exhibit 1.

North face first floor signs; S8 and S9. S8 identifies Plaza theater and is 53 square feet. This sign shall be reduced in size to 30 square feet at whatever date the Town Council requires other similar illegal non conforming signs to conform, or October 1, 1992, whichever occurs last. S9 is a proposed sign for the tenant space presently occupied by Fredrickson's. This sign is approved to be 30 square feet, 24' X 15", and the same geometric shape, design and color as shown on exhibit 1.

North elevation. A tenant directory sign is approved in concept for this location. A scaled drawing of the sign showing size, height, colors, and materials must be submitted for review and approval by the Planning Commission prior to display of such signage.

West elevation sign; S10. S10 is for identification of the space presently occupied by Chili Peppers. This sign is approved at 30 square feet, 4' X 7.5'.

Freestanding sign; S12, S13, S14, S15. This sign is approved with the following modifications:

1. S12, "Sherwin Professional Plaza", to be moved to space S15 (presently occupied by "Laundromat"). S15 becomes the space permitted to display Sherwin Professional Plaza. Font, color and size to be submitted and approved by the Planning Director. Laundromat identification to be removed.

2. S13, "Plaza Theater". This space is approved to display Plaza Theater, using existing letters, 14" X 14'7".

4. The sign shall be reduced in size by removing sign area occupied by Plaza Theater (S12), the vertical poles shall be no higher than the top of the light housing, the horizontal structure that houses the lights shall be dropped to the same level above S13 as is now above S12 (square feet of S12 removed, sign lowered accordingly, poles cut off).

5. Existing freestanding sign may change copy as proposed but must conform to the approved Master Sign Plan at whatever date the Town Council requires other similar illegal non conforming signs to conform, or October 1, 1992, whichever occurs last.

6. See exhibit "2", for rendering of sign and approval.

Attachment Exhibits 1 and 2, copies of pictures of the center and elevations.

#### 5 -- STYLE, COLOR, MOUNTING METHOD, SIZE AND APPROVALS

Any change in copy or sign installation shall receive prior approval by the Planning Director. It shall be the landlords responsibility to apprise all existing and future tenants of the requirements of the approved sign plan.

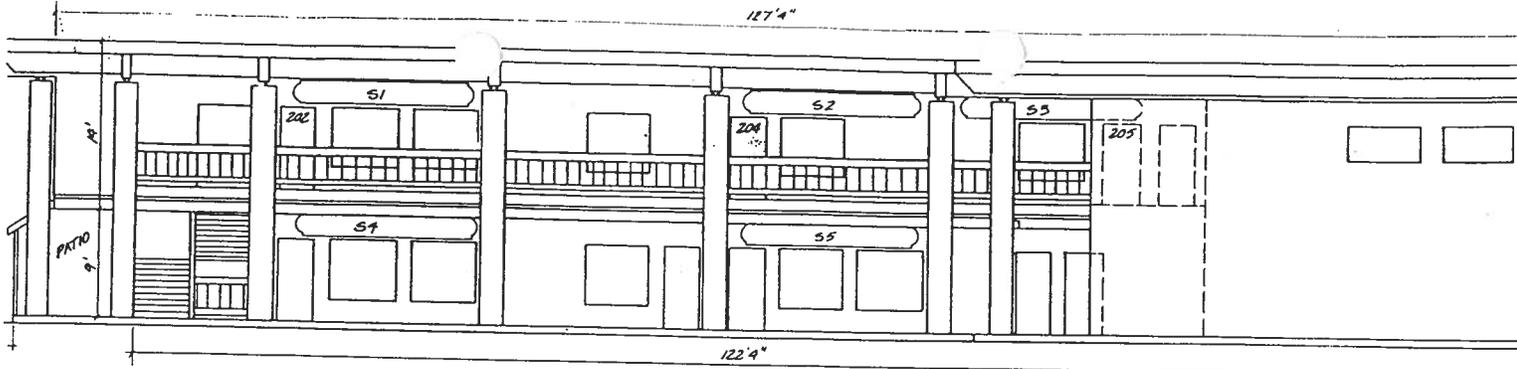
Mounting shall be lag bolted into wall. Freestanding sign shall be required to have a valid building permit when it is brought into conformance with the Master Sign Plan pursuant to the amortization period above.

Style, color, mounting method, size and location shall be per this master sign plan. Colors shall be; lettering: white; background: teal; trim: red. The freestanding sign colors shall be as represented and painted as of September 18, 1991, color photos on file in the Town Offices. Deviation to freestanding sign colors may be approved by the Planning Director,

Any change in copy or sign installation shall receive prior approval by the Planning Director.

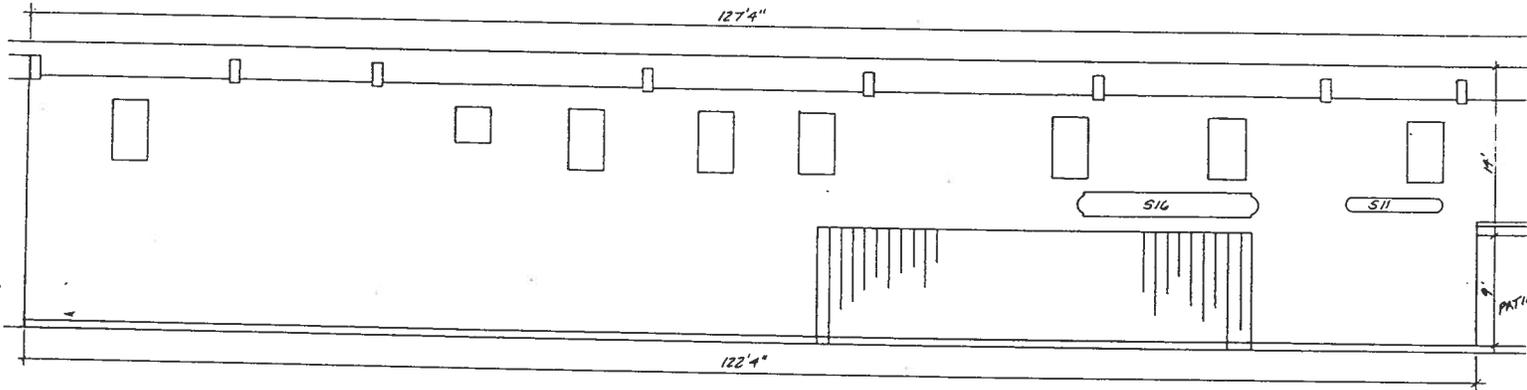
It shall be the landlords responsibility to apprise existing and future tenants of this sign plan as approved.

This Master Sign Plan approved by the Mammoth Lakes Planning Commission on September 11, 1991.



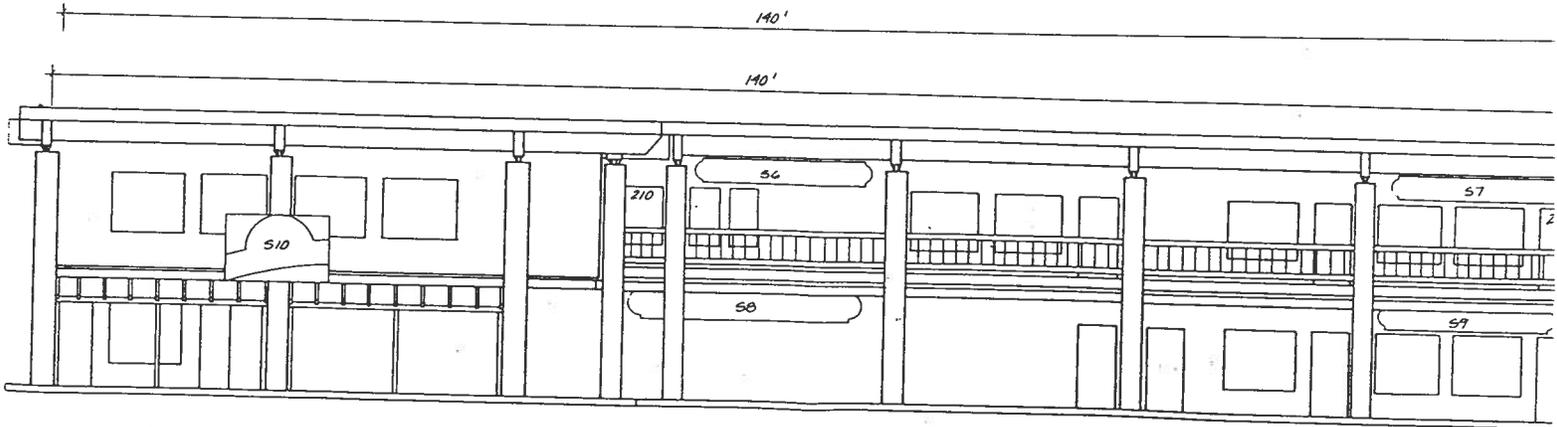
*south*

SOUTH FACE = 2876 SQ. FT.  
 5% = 144 SQ. FT.  
 PROPOSED SIGN AREA: 144 SQ. FT.



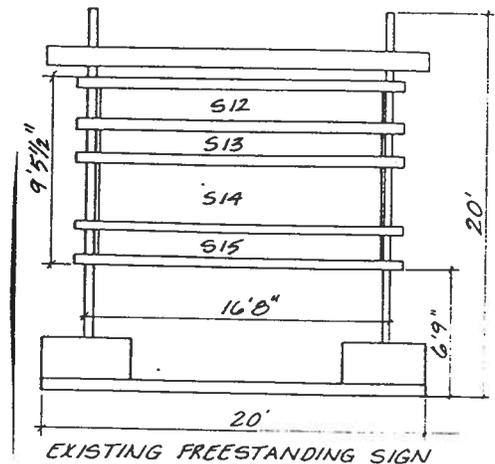
*north*

NORTH FACE = 2876 SQ. FT.  
 5% = 144 SQ. FT.  
 PROPOSED SIGN AREA: 3660 FT.



*west*

WEST FACE = 3220 SQ. FT.  
 5% = 161 SQ. FT.  
 PROPOSED SIGN AREA: 161 SQ. FT.



15'



TYPICAL SIGN

TYPICAL SIGN DETAIL

COLORS

LETTERING: WHITE

BACKGROUND: TEAL, SAME AS  
"PEPPERS" LETTERS ON  
CHILI PEPPERS SIGN,  
SEE PHOTOS.

TRIM: RED

VI. BUSINESS MATTERS

1. Master Sign Plan Revision, Sherwin Professional Plaza. (Continued from meeting of February 8, 1995). Assistant Planner Newbry explained that the applicant had not submitted any drawings as of this meeting. He showed the Commission several examples that he had made depicting how various signs would look on the building on the north face.

Following discussion, the Commission's consensus was to provide direction concerning the size and location of the sign. They approved conceptually a sign on the north face that is designed to fit within the dark border area between the second floor siding and the entrance above the back door entrance or a logo sign placed on the first floor brick area east of the back entrance approximately 20 square feet in size. The applicant must submit drawings of the proposed sign for approval by the Commission.

VII. DIRECTOR'S REPORT

Planning Director Mellinger commented on the redevelopment handouts and said this item will be discussed at a future meeting. He also commented that Mammoth Mountain has offered to pay for the consulting work on redevelopment as a loan to the redevelopment agency.

Senior Planner Taylor handed out maps with the locations of the affordable housing projects that Mr. Taylor and Mr. Mellinger recently visited. He also showed photographs of the projects.

Senior Planner Taylor recommended that staff agendaize a discussion on parking standards at a future meeting as a follow-up to today's use permit application. He said there appears to be a conflict with the current planning goals regarding parking standards and paving.

Staff will bring this back for discussion as a business matter at a future meeting.

VIII. REPORTS FROM THE COMMISSION

None.

IX. ADJOURNMENT

The regular meeting adjourned at 10:30 a.m.

Respectfully submitted,

*William T. Taylor*