

**TOWN OF MAMMOTH LAKES
 COMMERCIAL ZONING COMPLIANCE EVALUATION**

Parcel Information	
Owner: _____	Zoning: _____
Address: _____	General Plan: _____
APN: _____	Proposed Use: _____
Lot: _____	Evaluation Date: _____

Uses Permitted: Circle one below (See attachment 1)

Active Frontages: Circle one below (See attachment 2)

Use is: P Use Requires an: A U Use is: NP

Active Frontage: Primary Secondary n/a

Density and Intensity (§17.24.030.A)

Table 17.24.030-1	Requirement by Zone			
	Proposed	D	OMR	MLR
Floor Area Ratio (FAR) (all projects w/in Commercial zones)		Maximum 2.5, applicable to entire development		
Residential		Maximum 12 units/acre		
Single Room Occupancy (SRO)		Maximum 48 rooms/acre		
Lodging, Fractional, and Timeshare Development		Maximum 80 rooms/acre		

A. Determining Density

- Rounding of Density:** If fraction or decimal > 66% of a unit, round up; if ≤ 66%, round down.
- ½ Unit of Density:** For the purposes of calculating residential density, a 1 br unit up to a max 850 sf, shall be ½ of a dwelling.
- FAR:** The FAR limit applies to the entire development, in addition to density limits applicable to individual units.

Setbacks (§17.24.030.B,C)

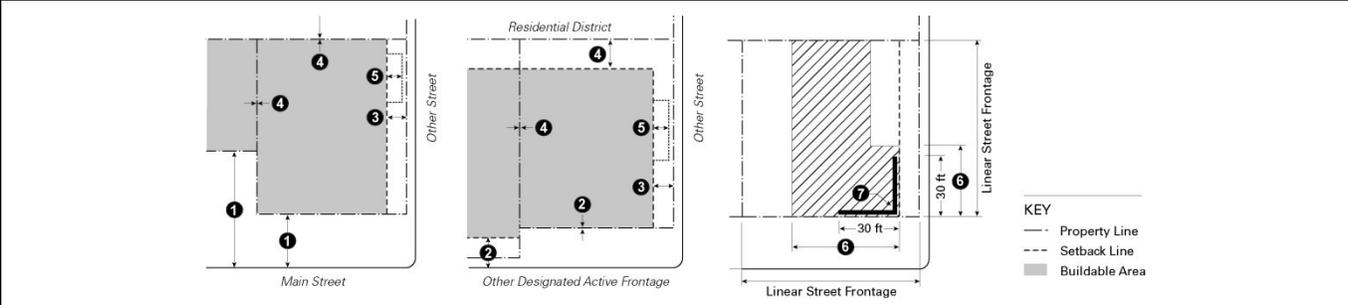


Table 17.24.030-2 Development Feature	Requirement by Zone			Additional Regulations	
	Proposed	D	OMR		
Minimum Setbacks (measured from property line unless otherwise stated)					
Main Street and Frontage Road		0 feet (B)		17.36.090 (Screening and Buffer); 17.36.100 (Setback Requirements and Exceptions); 17.52.170 (Mixed-Use Development)	1
Other Designated Active Frontage Areas		Property line or 15 feet from back of curb; whichever is greater. (B)	n/a		2
All Other Streets		10 feet; (B)			3
Interior Side and Rear		0 feet; 15 feet adjacent to residential district			4
Projections into Setbacks		Awnings, overhangs and other elements of a covered walkway, plaza, or outdoor seating area may project up to 8' into setback.			5
Build-to Requirement					
Primary Active Frontage		Min: 60% of linear street frontage (C)			6
Secondary Active Frontage		Min: 40% of linear street frontage (C)			6
Corner Build Area		30 feet (C)			7

B. Frontage Improvements

1. Except where occupied by a building or used for building access, the property frontage, for a depth of 10 feet from the property line, shall be improved so that it functions as a wider public sidewalk; utilized for active outdoor uses such as outdoor dining, or improved with landscaping, public art, and/or pedestrian amenities such as outdoor seating.

C. Required Building Areas, Active Frontage Areas (See attachment 2)

1. **Build-to Requirements:** Building facades shall be located within 5' of the required setback line along Designated Active Frontages for the percent of linear street frontage identified in Table 17.24.030-2

2. **Corner Build Area:** Buildings on corner lots along Designated Active Frontages shall be located at or within 5' of the required setbacks on each street frontage within 30' of the corner.

3. **Exception:** The requirements above may be modified or waived by the Director upon finding that:

- a. Plaza, courtyards or outdoor seating areas that function as publicly accessible open space are located between the build-to line and building, provided that buildings are built to the edge of the plaza.
- b. The building incorporates an alternative entrance design that creates a welcoming entry feature facing the street.
- c. A larger setback is required to preserve existing mature trees or landscape.

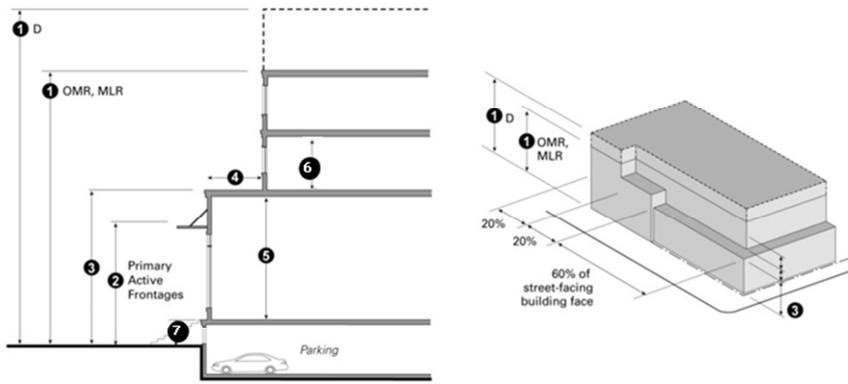
Screening between Retail and Service Uses and Residential Land Uses (17.36.090.B)

- Retail and service uses shall maintain a minimum 15' setback as a buffer area from a residential district.
- Buffer area between retail and service uses and residential districts shall be landscaped and may include fencing to provide a reasonable buffer between the two uses. No structures, paving, or snow storage are permitted in this area.

Mechanical Equipment, Loading Docks, and Refuse Areas (17.36.090.C)

- Ground level mechanical equipment, loading docks, refuse and recyclable materials storage areas, and utility services shall be screened from public view from adjoining public streets and rights-of-ways as determined by the Director.
- Rooftop mechanical equipment shall be combined and/or collected together on slopes of roofs and screened from public view from adjoining public streets and rights-of-ways as determined by the Director.
- The method of screening shall be architecturally compatible with other on-site development in terms of colors, materials, and architectural style as determined by the Director.
- All mechanical equipment screening shall be subject to review and approval by the Director and the MLFPD.

Height Standards (§17.24.030.D)



* Maximum street wall heights determined by feet and not by stories. Residential buildings may achieve two stories within the 25 foot limit.

Table 17.24.030-3 Development Feature	Requirement by Zone			Additional Regulations	#
	Proposed	D	OMR MLR		
Maximum Overall Building Height		55 feet	45 feet 45' for lots with slopes < 10%; 55' for lots with slopes ≥ 10%	See 17.36.060 (Height Measurement and Exceptions) *	1
Minimum Building Face Height		20', applicable only to Primary Active Frontages			2
Maximum Building Face Height Along All Streets and Adjacent to Residential Districts		25' for 60% of the building face; 35' for 20% of the building face; 45' for 20% of the building face (D)			3
Stepback		Min. 10' from the building face below (D)			4
Ground Floor, Nonresidential Units		Min. 14' clear from floor to ceiling			5
Ground Floor, Residential Units		Min. 8' from floor to ceiling			
Upper Floors		Min. 8' clear from floor to ceiling			6
Parking Podium		Maximum height visible from street is 4' from finished grade			7

D. Building Face Height: Along street frontages and adjacent to residential districts, the building face shall have a maximum wall height as identified in Table 17.24.030-3 with a minimum stepback of 10' from that building face to the next higher story, except as provided below.

- 1. A max 20% of the length of the building face may exceed the maximum building face height by up to 10' w/out a stepback.
- 2. An additional 20% of the length of the building face height may exceed the maximum building face height by up to 20' w/out a stepback.

*** Height Measurement**

1. Building Height Calculation: Maximum height shall be measured from the finished grade adjacent to the building exterior to the highest point of coping of a flat roof, the top of a mansard roof, or the highest point of the highest pitched roof.
2. Alternative Building Height Calculation: For lots where the average slope calculated over the entire lot is $\geq 10\%$, the building height can be calculated by measuring the height at the four most outermost corners of the structure from finished grade to a horizontal plane which intersects the topmost point of the building and dividing that total by four ($A+B+C+D = X/4 = \text{height}$)

Parking and Loading Standards (§17.24.030.E,F,G)

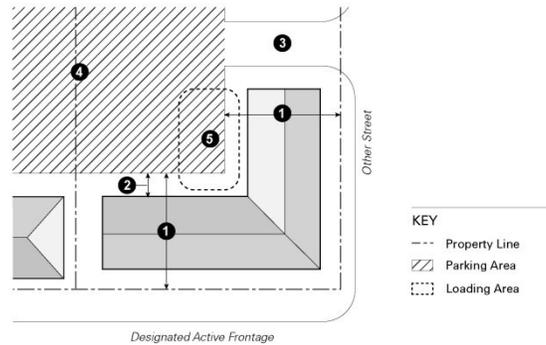


Table 17.24.030-4 Development Feature	Requirement by Zone			Additional Regulations	#
	Proposed	D	OMR MLR		
Setback from Street Property Line		20 feet (E)		See Chapter 17.44 (Parking and Loading Standards)	1
Setback from Buildings and Public Plazas		8'; 5' walkway plus 3' landscaping; Applicable only to above ground parking			2

- Buildings shall be placed as close to the street as possible, with parking underground, behind a building, or on the interior side or rear of the site. Parking may be located within the required setback, subject to the requirements listed in M.C. §17.24.030.E.
- Access should be from side street, alley, or rear of property wherever possible.
- Properties fronting onto Main Street that redevelop to claim an existing frontage road shall incorporate a re-routed access road to the rear of the property. The re-routed access road shall be designed to be continuous with those of adjacent properties, and to provide adequate circulation and emergency access.
- Parking facilities shall be designed to accommodate cross-access to/from adjacent properties.
- Loading/Service areas shall be on the side or rear of lot and must be screened from the public ROW.

Required Parking Spaces	Required	Proposed	
Number of Parking Spaces			See parking requirements table below
Number of Disabled Parking Spaces			As required by the California Building Standards Code. These spaces count towards required number of spaces
Number of Motorcycle Parking Spaces			Required for lots w/ 50 or more parking spaces at a ratio of 1 motorcycle space per 50 vehicle spaces or fraction thereof

- Motorcycle Parking Space dimensions shall be 4' x 7'
- Off-street tour bus parking and loading facility(s) shall be provided for any new hotel, motel, and multi-family residential projects intended predominantly for nightly rental use.
- Electricity hook-up shall be provided for each tour bus parking space.
- Oversize vehicle parking shall be provided for new hotel, motel, and multi-family residential projects intended predominantly for nightly rental use.
- No existing use of land or existing structure, where parking for said use or structure was conforming at the time of establishment or modification, shall be deemed to be nonconforming solely because of the lack of parking facilities prescribed by Chapter 17.44, but rather shall retain conforming status for as long as the use of the structure remains unmodified. For additional information please reference M.C. §(s) 17.44.030.F and G.
- Bicycle parking shall be provided in accordance with M.C. §17.44.090.
- Delivery loading space shall be provided in accordance with M.C. §17.44.120.

Parking Design and Development Standards	Required	Proposed	
Enclosed and Unenclosed Parking			
Multi-family residential			At least 50% of required parking shall be enclosed.
Hotel or motel			At least 50% of required parking shall be enclosed.
Other uses			Enclosed parking is encouraged, but not required.

Parking space and lot dimensions	Required	Proposed				
<i>Outdoor spaces</i>	10' x 20'					
<i>Garage spaces if more than 1 spaces is required and each space is not separated by walls or obstructions.</i>	9' x 18'					
<input type="checkbox"/> 24' back-up aisle widths in parking lots <input type="checkbox"/> All spaces and driving aisles must be paved <input type="checkbox"/> No more than 3 cars can back out onto the street						
Landscaping of Parking Lots						
<i>Area</i>			10% of the gross area of the parking lot shall be landscaped			
<i>Number of trees</i>			1 tree per 5 parking spaces (species consistent w/ TOML Plant List)			
<input type="checkbox"/> Location of landscaping shall be provided as part of a landscape plan. <input type="checkbox"/> Irrigation shall be provided for landscaped areas. * All landscaping shall be installed and maintained pursuant to Chapter 17.40 (Water-Efficient Landscape Regulations)						
Parking Requirements						
1. Parking Zones (17.44.030.B.1)						
a) <i>Parking Zone 1</i> : Includes the Downtown (D) and Old Mammoth Road (OMR) Commercial Zoning District.						
b) <i>Parking Zone 2</i> : Includes the Mixed Lodging Residential (MLR) Zoning District and the Lodestar Master Plan.						
c) <i>Parking Zone 3</i> : Represents all other areas within Town.						
2. Minimum and Maximum Parking Requirements (17.44.030.B.2)						
<i>Land Use</i>	<i>Zone 1</i>		<i>Zone 2</i>		<i>Zone 3</i>	
	<i>Minimum</i>	<i>Maximum</i>	<i>Minimum</i>	<i>Maximum</i>	<i>Minimum</i>	<i>Maximum</i>
Industrial, Manufacturing, & Processing Use Classifications (spaces/1,000 sf Gross Leasable Area)	n/a	n/a	n/a	n/a	1.6	4.0
Retail Use Classifications (except restaurant) (spaces/1,000 sf Gross Leasable Area)	3.0	7.0	3.5	7.5	4.0	8.0
Restaurant (spaces/1,000 sf Gross Leasable Area)	6.6	9.0	11.2	13.5	12.5	15.0
Service Use Classifications (except lodging) (spaces/1,000 sf Gross Leasable Area)	3.0	6.0	3.5	6.5	4.0	7.0
Lodging (spaces/room)	1.0	1.5	1.0	1.5	1.0	1.5
All Other Non-residential Uses	Shall be established by special review and approved by the review authority.					
<ul style="list-style-type: none"> - Gross Leasable Area shall mean gross leasable square footage of floor area measured in square feet, including balconies, basements, mezzanines, or upper floors, but excluding common areas such as elevators, stair wells, bathrooms, shared hallways, and lobbies. This shall apply to single and multiple occupant/tenant structures. - If a fractional number is obtained in calculations, 1 additional space shall be provided if fractional unit is $\geq .50$, and no additional space shall be provided if fractional unit is $< .50$. 						
Alternative Parking Provisions (17.44.040)						
- For alternative parking options, see M.C. §17.44.040-050						

Supplemental Standards (17.24.040)

	Proposed	
Block Length (§17.24.040.A)		Max 350'; 600' is allowed when a mid-block pedestrian connection is provided or the Director makes the findings found in M.C. §17.24.040.A
<input type="checkbox"/> Buildings on a public street shall be oriented toward, and have their primary entrance facing the public street. <input type="checkbox"/> Building entrances shall be emphasized with special architectural, modulation of roof lines, or landscape treatments. <input type="checkbox"/> Snow shall not shed freely into entrances and the buildup of ice and snow within pedestrian areas is minimized.		
Building Transparency: Applicable to exterior walls facing and within 20' of a street, park, plaza, pedestrian walkway, or other public outdoor space. (§17.24.040.C) (see graphic on next page)		
<input type="checkbox"/> Include windows, doors, or other openings for at least 60% of the building wall area located between 2.5' – 8' above the level of the sidewalk. <input type="checkbox"/> No wall may run in a continuous horizontal plane for more than 15' without an opening. <input type="checkbox"/> Openings shall have transparent glazing and provide views 10' in depth or into window displays that are at least 3' deep. <input type="checkbox"/> Windows on the ground level building façade facing a street shall not be opaque.		

Building Transparency

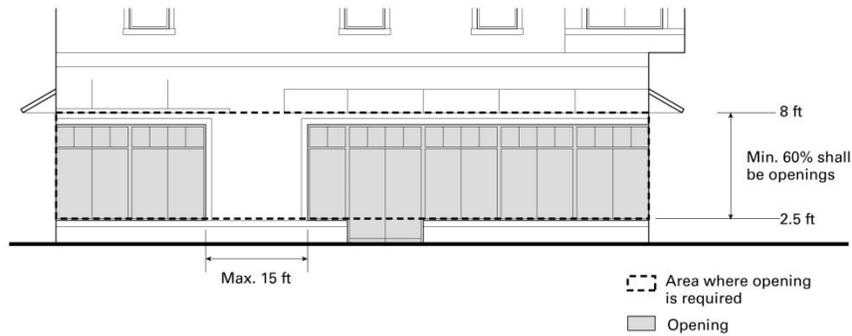


Figure 17.24.040(C)

Wall Plane Modulation (§17.24.040.D.1)

- Buildings should consist of reveals or offsets in the wall plane.
- Any building over 50' wide shall be broken down to read as a series of storefronts no wider than 50' each.
- Offsets shall be a minimum of 2'.

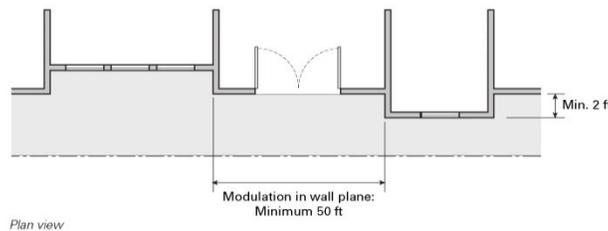


Figure 17.24.040(D)(1)

Roof Modulation (§17.24.040.D.2)

- Roof lines of all facades visible from a public right-of-way shall not exceed 50' wide without modulation.
- Roof modulation shall consist of a change in height by a minimum of 10' and/or a change in form through changes in pitch, plane, and orientation.
- Roof modulation shall be incorporated to reflect the interior uses of multi-tenant buildings and emphasize key building entrances.
- Roof design should take into account snow and ice storage and shedding and ensure pedestrian areas are protected from shedding ice and snow.

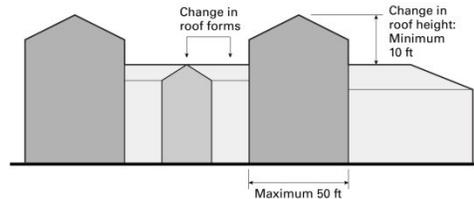


Figure 17.24.040(D)(2)

- Buildings shall be designed to have a distinctive base (ground floor), middle (intermediate upper floor levels), and top (either top floor or roof level).
- Buildings shall include sufficient architectural design features (See M.C. §17.24.040.D.4 for more information).

Building Materials and Construction (§17.24.040.E)

- Building base shall be clad in durable high-grade materials from at least the floor slab of the 2nd floor down to 1" of the finished sidewalk grade.
- All construction details and materials shall be of the highest standard.

Pedestrian Access (§17.24.040.F)

- Connect all buildings and parking areas, open space, and pedestrian amenities on a site to each other via a system of pedestrian walkways.
- Connect on-site walkways to public sidewalk on each street frontage.
- Provide connections from commercial and mixed-use projects to adjoining residential and commercial areas.
- Provide connections from transit stops to building entrances.
- Walkways shall be minimum of 6' wide, shall be hard-surfaced, and paved with permeable surfaces.
- Provide differentiation between walkways and driveways, parking areas, or loading areas when they cross.
- Provide separation between walkway and auto travel lane when they are parallel.

Public Open Space (§17.24.040.G): Applicable to developments w/ 50,000 sf or more of nonresidential floor area on sites two acres or more in size.

- Provide 40 sf of public open space for every 1,000 sf of nonresidential floor area for the first 100,000 sf of nonresidential floor area plus 20 sf of public open space for every 1,000 sf of nonresidential floor area over 100,000 sf.
- Public space is visible and accessible from a public street. Area can be located within setback areas.
- Public spaces adjacent to the street shall not be elevated or sunken more than 2' from the level of the adjacent sidewalk.
- Shall have a minimum dimension of 40'.
- Obstructions that impair visibility within the space shall not be permitted unless it is a plaza design feature.
- Variety of well-designed and comfortable seating types shall be included.
- Amenities shall be included that enhance the comfort, aesthetics, or usability of the space.
- Surface shall be provided that allows convenient use for outdoor activity, recreation, and public gathering. Max slope shall not exceed 10%.

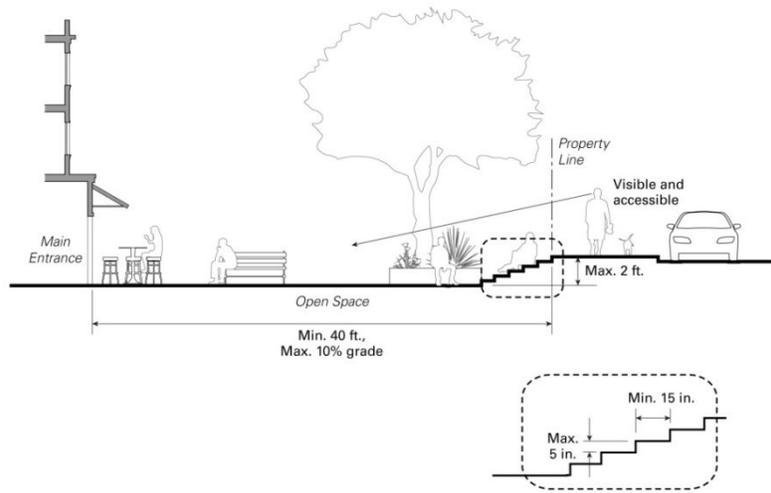


Figure 17.24.040(F)(2)

Snow Storage Areas (17.36.110)

Square feet of uncovered required parking and driveway areas _____ x .60 = _____ sf of required snow storage area ¹	_____ sf of snow storage area proposed
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- Snow storage area must be at least 10' wide by 10' deep.
- Snow storage area must be accessible, unpaved, and clear of obstacles.
- Located near the sides or rear of parking areas and driveways, away from the street.
- Located so that snow moving equipment is not required to enter the public streets to move snow to the storage area.
- Located in a manner to preserve sight lines for vehicles entering or exiting driveways.
- Designed to provide adequate drainage and prevent formation of ice, and are required to have oil/water separators.

¹ Snow storage area may be reduced if criteria in M.C. §17.36.110.B.3.a is met.

Propane Tanks (17.36.080)

- Not located in the front or street side yard setback area(s), unless authorized by the CEDD Director and Public Works Director
- Shall be painted tan or light green.

Solid Waste/Recyclable Materials Separation and Storage (17.36.130)

- Solid waste and recyclables separation and storage areas shall be provided in the number, dimensions, and types required by the Department or review authority.
- On a paved pad that is readily accessible to refuse collection and recycling vehicles.
- Shall not be located in the front or side setback area, unless approved by the Director, subject to screening w/ fencing or landscaping.
- Trash enclosures, receptacles, and food storage areas shall be animal resistant.

Fireplaces/Wood Stoves

- No wood burning fireplaces permitted (i.e., open hearth, not EPA Phase 2).
- No wood or pellet stoves shall be installed in any new commercial or lodging project.
- Any number of gas appliances is permitted.

- Existing properties with one or more existing wood burning fireplace or wood or pellet stove may not install additional wood or pellet stoves.
- Existing properties with no existing wood burning fireplace or wood or pellet stove may install only one EPA Phase 2 certified stove or one pellet stove.
- Existing properties that are upgrading permitted noncompliant solid fuel burning appliances may install up to the same number of certified solid fuel burning appliances (e.g., EPA Phase 2 certified stoves or pellet stoves).
- No increase in habitable area shall be allowed for a structure that has not complied with the woodstove changeout requirements upon property sale (M.C. §8.30.050.C)

Fences and Walls (17.36.040)

- 3' maximum height in front and street side yard setback areas.
- 6' maximum height elsewhere, including side and rear yard setback areas.
- No barbed wire, chain link or electrical fencing permitted anywhere.
- Retaining walls visible from off-site must be made of split faced rock, faced with rock, or similarly treated to be attractive.

Grading and Clearing (17.36.050)

- Limited to the area required for construction of the structure, utilities, driveways, and access to the structure.
- Existing trees and vegetation shall be preserved to the maximum extent possible.

Design Review (17.88)

- All projects in the Commercial Zoning District require design review, unless they are exempt.

Signs (17.48)

- All new or changes to commercial signs require a sign permit, with the exception of routine maintenance of a sign.
- Banners are not allowed, except for a 'Grand Opening' banner subject to a maximum time limit of 30 days.

Exterior Lighting (17.36.030)

- All exterior lighting shall be shielded, downward directed, and the source of all lighting shall not be visible from any point off the property, including streets. The minimum amount of lighting necessary for the exterior of the building shall be utilized with minimal lighting intensity. All lighting shall comply with the standards in M.C. §17.36.030.

Standards for Specific Land Uses and Activities (17.52)

See specific code section for additional information regarding:

- Accessory Uses and Structures – General Standards (17.52.030)
- Accessory Uses and Structures – Accessory Retail Uses (17.52.050)
- Adult Businesses (17.52.060)
- Animal Care and Boarding (17.52.070)
- Bed and Breakfast Inns (17.52.080)
- Caretaker Housing – Non-Residential zones (17.52.090)
- Child Day Care Facilities (17.52.100)
- Condominium Conversions (17.52.110)
- Fractional/Timeshare Developments (17.52.120)
- Home Occupations (17.52.140)
- Live/Work Units (17.52.150)
- Medical Marijuana Cooperatives (17.52.160)
- Mixed-Use Development (17.52.170)
- Mobile Businesses (17.52.180)
- Mobile Homes and Manufactured Homes (17.52.200)
- Multi-Family Residential Projects (17.52.210)
- Outdoor Dining (17.52.220)
- Outdoor Display and Sales Standards (17.52.230)
- Outdoor Storage and Work Areas (17.52.240)
- Recycling Facilities (17.52.250)
- Residential Care and Assisted Living Facilities (17.52.260)
- Telecommunications Facilities (17.52.280)
- Transitional and Supportive Housing (17.52.290)
- Wind Energy Conversion Systems (WECS) (17.52.300)

Attachment 1: Allowed Uses (Table 17.24.020)

<i>P: Permitted Use; U: Use Permit; A: Administrative Permit Required; -- : Use Not Allowed; (#) Limitation Applies, See Footnote</i>				
<i>Land Uses</i>	D	OMR	MLR	See Specific Use Regulations
Residential Use Classifications				
Multi-family Residential	P(1)	P(1)	P	See 17.52.210 (Multi-Family Residential Projects) See 17.52.110 (Condominium Conversion)
Assisted Living Facility	--	P(1)	P	See 17.52.260 (Residential Care and Assisted Living Facilities)
Convalescent Home	--	U(1)	--	
Emergency Housing/Shelter	--	P(1)	--	
Family Day Care home, Small	P(1)	P(1)	P	
Live/Work Unit	P(1)	P(1)	P(1)	See 17.52.110 (Condominium Conversion) See 17.52.150 (Live Work Units)
Residential Care Facility	<i>See subclassifications below</i>			
<i>General</i>	--	A(1)	A	See 17.52.260 (Residential Care and Assisted Living Facilities)
<i>Limited</i>	P(1)	P(1)	P	
Single Room Occupancy	--	U(1)	U	
Supportive Housing	See 17.52.290 (Transitional and Supportive Housing)			
Transitional Housing	See 17.52.290 (Transitional and Supportive Housing)			
Recreation, Education, & Public Assembly Use Classifications				
Commercial Recreation Facility	P(2)	P(2)	P(2)	
Community Assembly	P(1)	P(1)	P	
Conference/Convention Facility	P(6)	P(6)	P(6)	
Fitness/Health Facility	P(6)	P(6)	P(6)	
Instructional Services	P(3)	P	P	
Parks and Playgrounds, Public	P	P	P	
Private Residential Recreational Facility	P(1)	P(1)	P(1)	
Public Recreational and Cultural Facility	P(2)	P(2)	P(2)	
Schools, Public or Private	U(1)	U(1)	--	
Theater, Cinema or Performing Arts	P	P	P	
Retail Use Classifications				
Artisan Shop	P	P	P	
Auto and Vehicle Sales and Rental	U(9)	U(9)	--	
Bars/Taverns/Nightclubs	A	A	U	
General Retail	P	P	P	
Nurseries and Garden Centers	P(9)	P(9)	P(9)	
Restaurant, Café, Coffee Shop	P	P	P	See 17.52.220 (Outdoor Dining)
Tasting Room	P	P	P	
Service Use Classifications				
Animal Care and Boarding	<i>See subclassifications below</i>			See 17.52.070 (Animal Care and Boarding)
<i>Pet Day Care</i>	P(10)	P/A(10)	P/A(10)	
<i>Pet Grooming</i>	P(3)	P	P	
<i>Veterinary Services</i>	P(1)	P(1)	P	
Banks and Financial Services	P/A(2)	P	P	
Day Care Centers	P	P	A	See 17.52.100 (Child Daycare Facilities)
Food Preparation	P(1)	P(1)	--	
Government Offices	P(1)	P	--	
Lodging	<i>See subclassifications below</i>			
<i>Hotels and Motels</i>	P	P	P	See 17.52.120 (Hotels and Motels)
Medical Marijuana Cooperatives	U(1)	U(1)	--	See 17.52.160 (Medical Marijuana Cooperatives)
Medical Services	<i>See subclassifications below</i>			
<i>Hospital</i>	--	U(1)	--	
<i>Clinics and Laboratories</i>	A(1)	P(1)	A(9)	

Offices	P(7)	P(7)	P(7)	
Personal Services	P	P	P	
Public Safety Facilities	A(1)	A(1)	A	
Vehicle Services	<i>See subclassifications below</i>			
<i>Fueling Stations</i>	(4)	U(1)	(4)	
<i>Repair, Major</i>	--	U(1,5)	--	
<i>Services and Repair, Minor</i>	A(1,5)	A(1,5)	--	
<i>Washing</i>	--	A(1)	--	
Warehousing, Storage, and Distribution	<i>See subclassifications below</i>			
<i>Personal Storage</i>	A(1)	A(1)	--	
Industry, Manufacturing, & Processing Use Classifications				
Handicraft/Custom Manufacturing	--	A(1)	--	
Transportation, Communications, Infrastructure Use Classifications				
Parking, Public or Private	P(8)	P(8)	P(8)	
Transportation Passenger Facilities	U	U	U	
Other Applicable Types				
Accessory Use	P	P	P	See 17.52.030 (Accessory Uses)
Automated Teller Machine (ATM)	P	P	P	
Fractional or Timeshare Development	P	P	P	See 17.52.120 (Fractional/Timeshare Development)
Home Occupations	P	P	P	See 17.52.140 (Home Occupations)
Outdoor Display and Sales	A	A	A	See 17.52.230 (Outdoor Display and Sales)
Temporary Uses and Events	See Chapter 17.56, Temporary Uses and Events			
Mobile Businesses	A	A	A	See 17.52.180 (Mobile Businesses)
Telecommunications Facilities	See 17.52.280 (Telecommunication Facilities)			
Wind Energy Conversion Systems (WECS)	See 17.52.300 (Wind Energy Conversion Systems (WECS))			

Specific Limitations:

1. Not allowed on the ground floor along Primary and Secondary Active Frontages.
2. Limited to establishments with a gross floor area of 5,000 square feet or less when located on the ground floor along Designated Active Frontages. Administrative Permit required if greater than 5,000 square feet.
3. Limited to establishments with a gross floor area of 1,200 square feet or less when located on the ground floor along Designated Active Frontages.
4. Permitted if existing, no new fueling stations allowed.
5. Use shall be completely enclosed in a building of soundproof construction.
6. At least 50 percent of the ground floor Designated Active Frontages shall be occupied by retail or food service uses.
7. Limited to walk-in clientele when located on the ground floor along Designated Active Frontages.
8. Shall be located behind buildings or in structures where other uses are located in the portion of the structure along Designated Active Frontages.
9. Limited to establishment with a gross floor area of 5,000 square feet or less.
10. Allowed only as accessory to a hotel or motel or other lodging use. Administrative Permit required if primary use in OMR and MLR districts.

Attachment 2: Active Frontages (Figure 17.24.020)

